

**Village of Lexington
Planning Commission Regular Meeting
Village Hall, 7227 Huron Ave., Lexington, MI 48450
Monday, April 8, 2024
4:30 PM**

CALL TO ORDER REGULAR MEETING: Mike Ziegler

ROLL CALL: Vicki Scott

Members: Ziegler Stencil Roehl Kaatz
 Regan Morris Huepenbecker

APPROVAL OF AGENDA:

APPROVAL OF MINUTES:

Motion to approve the minutes of the Regular Meeting of February 12, 2024

Pages 1-2

PUBLIC COMMENT: (3-minute limit)

ZONING ADMINISTRATOR'S REPORT

Page 3

OLD BUSINESS

Pages 4-17

1. **Consider approval of the Gielow Expansion Project**
2. **RRC Update**

NEW BUSINESS

Pages 18-27

1. **Discuss possible parking lot on Washington/Boynton
Recommendation to approve plans of upgrading & leveling existing lot**

PUBLIC COMMENT: (3-minute limit)

ADJOURNMENT

VILLAGE OF LEXINGTON
Planning Commission Public Hearing/Regular Meeting
Village Hall
7227 Huron Avenue, Lexington, MI
February 12, 2024 7:30 p.m.

Public Hearing called to order at 7:30 p.m. by Chairman Ziegler

- The purpose of the public hearing is to take comments on the Brown Ridge Estate Planned Unit Development (PUD) in accordance with Section 7.3.2 of the Zoning Ordinance.

Public Comment: None

Closed Public Hearing at 7:31 p.m. by Chairman Ziegler

Regular Meeting called to order at 7:31 p.m. by Chairman Ziegler

Roll Call: Vicki Scott, Clerk

Present: Ziegler, Regan, Stencel, Morris, Roehl, Kaatz

Absent: Huepenbecker

Others Present: L. Fisher, Huepenbecker (via phone), Greg Brown, K. DeCoster

Approval of Agenda:

Motion by Kaatz, seconded by Morris, to approve the agenda as presented.

All ayes

Motion carried

Approval of Minutes:

Motion by Roehl, seconded by Morris, to approve the minutes of the Regular Meeting of January 2, 2024, as presented.

Discussion:

Amended Motion by Roehl, seconded by Morris to approve the minutes of the Regular Meeting of January 2, 2024 with Dave Picot's name added under Others Present.

All ayes

Motion carried

Public Comment: None

Zoning Administrator's Report:

Klaas explained the zoning administrator's report and answered questions.

Motion by Morris, seconded by Stencel, to approve the zoning administrator's report as presented.

All ayes

Motion carried

Old Business:

1. Capital Improvement Plan –

Lori Fisher stated this document should be adopted each year and will consist of the current year plus five years out. This is part of the RRC requirements. She took the document down to the bare minimum for it to be workable with the Village budget. This is a living document that is subject to change as we progress. We need to focus on the 2024/2025 budget. Going forward, the projects will be labeled as funded by grants or the general fund. Discussion followed on the projects listed.

Motion by Roehl, seconded by Morris, to approve the Capital Improvement Plan and recommend adoption to Council.

All Ayes

Motion carried

2. **RRC Update** – Lori Fisher explained we only have a few items to complete. One of the last is a meeting between Council, DDA, and Planning. She thinks we will be able to do this in April. In the future, we can hold a goal-setting meeting in the fall. Once everything is complete, it should only take a week or two for Katie Higgs (MEDC) to approve.

New Business:

1. **Consider Approval of a Planned Unit Development for Brown Ridge Estates –**

Motion by Morris, seconded by Roehl, to approve the Planned Unit Development for Brown Ridge Estates and forward it to Council for their consideration.

Discussion: The three items are not yet completed (Master Deed & By-Laws, Cul-de-sac Deviation Document, and the PUD Development Agreement that had to go to the attorney). Klass stated these documents will be completed when submitted in the packet for Council's consideration. Morris asked if Planning's approval tonight is contingent on these three documents being completed. Klaas responded yes. Morris suggested going forward, it would be helpful to include a sign-off page showing the approval of each party.

Discussion followed on a pathway being put in by this development, which also has two township properties and a ravine to go through.

Amended Motion by Morris, seconded by Roehl, to approve the Planned Unit Development for Brown Ridge Estates and forward it to Council for their consideration contingent upon the three missing documents being completed.

Roll Call:

Ayes – Morris, Roehl, Stencel, Regan, Kaatz, Ziegler

Nays – None

Motion carried

Public Comment

- Greg Brown – thanked Dennis Klaas and the Planning Commission for all who helped with the Brown Ridge Estates development.

Adjournment - Motion by Regan, seconded by Morris, to adjourn at 8:52 p.m.

Respectfully submitted,

Vicki Scott



VILLAGE OF LEXINGTON

7227 HURON AVENUE, SUITE 100
LEXINGTON, MICHIGAN 48150
810-359-8631
FAX: 810-359-5622

Zoning Administrator Report Village of Lexington April 3, 2024

Gielow Project Update:

Status of Site Plans:

Gielow's Final Site Plan is in the review process by Chris Townley and awaiting his approval.

Greg Brown Project Update:

Final Site Plan documents (Master Bylaws & Master Deed, PUD Agreement) have been signed and waiting notarizing.

Land Use Permits

March

Permit

24-005 5049 Lakeshore Lot #33 Frank Lapore (Demo)
24-006 5049 Lakeshore Lot #33 Frank Lapore (Mobile)
24-007 5345 Main St. Debbie Paradowski (Farmer's Market)
24-008 7313 Hubbard St. David Kroll (Garage)
24-009 7135 Lake St. Kelly Spana (Shed)

April

Permit

24-010 5767 Main St. Lakeview Manufactured Home Community (Sign)
(0) Zoning Ordinance Violations
N/A

(0) Code Ordinance Violations

N/A

Zoning Administrators Notes:

As the Zoning Administrator, I've been actively collaborating with Gielow Pickles to advance their project and secure approval for their Final Site Plan. I have submitted the necessary corrections to the final site plan, and I'm currently awaiting the Village Engineer's review. Furthermore, I've been in ongoing discussions with Greg Brown, and once the final notarization of the project is completed, it will be concluded.

Dennis Klaas
Village of Lexington Zoning Administrator
586-372-8035
zoning@villageoflexington.com

From: Christopher G. Townley <chris@townleyengineering.com>
Sent: Thursday, April 4, 2024 6:45:21 AM
To: zoning@villageoflexington.com <zoning@villageoflexington.com>; Lori Fisher <manager@villageoflexington.com>
Subject: Re: Drainage Calculation's for Gielow Final Site Plan.

Denny,

The review of the calculations is complete.

The stormwater retention basin is acceptable, provided the detention system is constructed as designed on the drawings you provided with an outlet orifice consisting of 6-1" diameter holes and the basin is constructed to the depths, grades and slopes (to maintain the volume) that are shown on the plans.

It should be noted in the file that the calculations required by the Village and the Post Construction Control procedure, were not followed and according to our findings the calculations prepared do not match the drawings. Please do not let these facts deter the Village from approving the stormwater detention system, as further calculations or review will not change the results.

Sincerely,

Chris Townley, P.E.
Townley Engineering, LLC
12720 Scott Road
Freeland, MI 48623
THROUGH FAITH ALL THINGS ARE POSSIBLE

810-404-2266
FAX 888-349-5944

www.townleyengineering.com

PROPOSED DETENTION POND DESIGN CONDITIONS

ORIN CAMPBELL for GIELOW PICKELS

Site Location: 5120 LAKESHORE RD., LEXINGTON TWP.

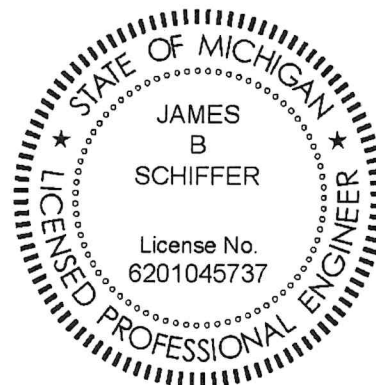
Proposed Areas Served by

Basin 1:

	Area (sft)	Percent of Total	Type
Land Size	588,450		
Bit. Parking Lot	159,966	27%	Impervious
Sidewalks/Pads	-	0%	Impervious
Ex.Bldg's	71,890	12%	Impervious
New Bldg's	53,667	9%	Impervious
	285,523	49%	Impervious
		51%	Pervious
Aggregate C	0.54		

	Area (sft)	Elevation (ft)	Vol (cft)
W Basin - Top	45,321	620	
W Basin - 1 ft below grd	40,802	619	43,062
W Basin - 1 ft below grd	36,277	618	38,540
W Basin - 1 ft below grd	31,807	617	34,042
W Basin - 1 ft below grd	27,471	616	29,639
W Basin - 1 ft below grd	23,014	615	25,243
W Basin - 1 ft below grd	13,657	614	18,336
W Basin - 1 ft below grd	6,274	613	9,966
W Basin - Bottom	2,615	612	4,445
Usable Depth **		1	203,270

**** NOTE:** USABLE DEPTH AND VOLUME IS BASED ON KEEPING WATER ONE FOOT BELOW OVERFLOW CONDITIONS



PROPOSED DETENTION POND (BASIN #1) DESIGN CALCULATION

ORIN CAMPBELL for GIELOW PICKELS
 Site Location: 5120 LAKESHORE RD., LEXINGTON TWP.

Percent Imperviousness: 49% (I)
 Proposed Runoff "C" Value: 0.54
 Maximum Allowable Outflow (CFS): 2.03 (G)
 Storm Recurrence Interval (Yrs): 100

Cont. Drainage Area (Acres) 13.51 (J)

A	B	C	D	E	F	G	H
Duration (Minutes)	Duration (Hours)	100-Year Total Rainfall (Inches)	100-Year Rainfall Intensity (Inch/Hr)	Proposed Runoff Flow Rate (CFS)	Proposed Runoff Volume (CFT)	Infiltration (CFT)	Required Detention Storage (CFT)
5	0.08	0.78	9.40	68.50	20,549	15	20,534
10	0.17	1.15	6.90	50.30	30,181	31	30,150
15	0.25	1.40	5.60	40.82	36,742	46	36,696
20	0.33	1.70	5.10	37.18	44,615	62	44,554
30	0.50	2.01	4.02	29.31	52,751	92	52,659
40	0.67	2.20	3.30	24.06	57,737	123	57,614
50	0.83	2.40	2.88	21.00	62,986	154	62,832
60	1.00	2.68	2.68	19.54	70,335	185	70,150
90	1.50	3.00	2.00	14.58	78,733	277	78,456
120	2.00	3.36	1.68	12.25	88,181	370	87,811
180	3.00	3.76	1.25	9.14	98,679	555	98,124
360	6.00	4.35	0.73	5.29	114,163	1,109	113,053
720	12.00	4.78	0.40	2.90	125,448	2,219	123,229
1080	18.00	5.10	0.28	2.07	133,846	3,328	130,518
1440	24.00	5.30	0.22	1.61	139,095	4,437	134,658

Maximum Req'd Storage for 100-yr Storm: 134,658 CFT
 Maximum Req'd Storage for Back-to-Back 100-yr Storm: 269,316 CFT
 Provided Storage (Only): 203,270 CFT
 Req'd Runoff (CFS) 0.38 O.K., RATE < MAX.ALLOW
 Req'd Runoff (CFS/AC) 0.03 O.K., RATE < 0.15 CFS/AC

RETENTION POND DESIGN CALCULATION

(NOTE: see below for mgt. of Back-to-Back storm events)

- A) Duration of the storm event in minutes.
- B) Duration of the storm event in hours.
- C) Total amount of rainfall during a 100-year recurrence storm event for the given duration in Column A & B (ref.: NOAA ATLAS 14 POINT PRECIPITATION FREQUENCY ESTIMATES: MI).
- D) Average rainfall intensity during the 100-year recurrence storm event. Calculated by dividing Column C by Column B.
- E) The unrestricted 100-year recurrence discharge flow rate from the proposed site under fully developed conditions. Calculated by multiplying Intensity (D) and Drainage Area (L).
- F) The unrestricted storm event for the given duration in Column A and B. Calculated by multiplying the Proposed Runoff Flow Rate (E) by the Storm Duration (A) and by 60 seconds/minute.
- G) The maximum allowable discharge from the site is determined by multiplying the drainage area by 0.15 CFS per acre or if the proposed outlet is restrictive by determining the sites share of the existing outlets capacity on a contributing area basis.
- H) The required retention storage is determined by multiplying the differention flow rate (Inflow (E) - Outflow (G), by the corresponding duration (A) and by 60 seconds/minute. The amount of storage required for various storm durations will vary based on rainfall intensity, the size of the drainage area, and the allowable discharge. The maximum volume of storage for the various storm durations will be the required detention storage volume.
- I) Proposed percent imperviousness. This assumption will be used to determine the proposed runoff coefficient. Impervious surface will be assumed to have a value of 0.9 and pervious a value of 0.2
- J) Contributing Drainage to the proposed detention or retention system.

INFILTRATION BASIN DESIGN CALCULATION

In order to retain the entire 100-Year 24 Hour Design Storm from the Entire Contributing Area (Inches of Rainfall), req'd volume would be:

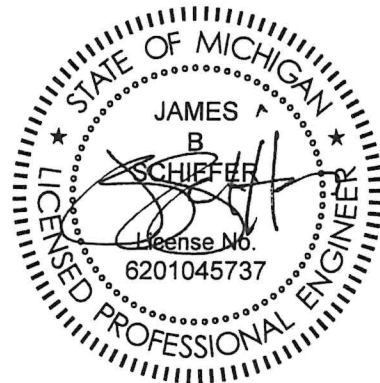
139,095 CFT OF WATER TO BE MANAGED

DATA:

5.30	INCHES / 24-HR
139,095	TOTAL RAINFALL VOLUME (CIA)
LkA	USDA SOIL SURVEY TYPE (LkA - LONDO LOAM)
5.12E-06	M/S PERMEABILITY (LkA, 100%)
0.006	FT/HR PERMEABILITY
0.07	IN/HR PERMEABILITY
0.75	FACTOR OF SAFETY REDUCTION PER COUNTY STDS
0.05	IN/HR FACTORED PERMEABILITY (USE THIS)
0.52	IN/HR MAX. PERM. ALLOWED W/O PERC TESTS (N/A)
40,802	USABLE SFT OF INFILTRATION BASIN
185	CFT, INFILTRATION / HR
4,437	CFT OF INFILTRATION THRU BOTTOM OF POND OVER 24 HRS
203,270	CFT OF STORAGE VOL.
207,707	CFT OF MAX. WATER MANAGED (STORAGE + 24 hr INFILTRATION)
8,874	CFT OF INFILTRATION THRU BOTTOM OF POND OVER 48 HRS
212,144	CFT OF CAPACITY WATER MANAGED OVER 48 HRS
278,190	CFT OF 100-YR STORMWATER OVER 48 HRS
66,046	CFT OF 100-YR RUNOFF OVER 48 HRS
0.03	RUNOFF RATE (CFS/ACRE)
>>>>>	24hr BACK-TO-BACK STORM WILL DRAIN WITHIN 48 hrs, THUS, O.K.

CONCLUSIONS:

STORAGE + INFILTRATION + RUNOFF MEETS OR EXCEEDS B-1o-B 24 HR EVENTS



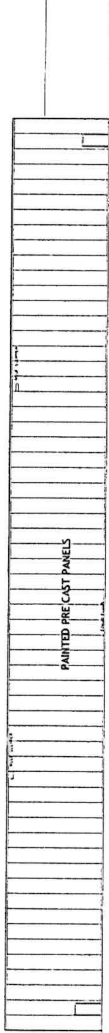
New Building For:

Gielow Pickles

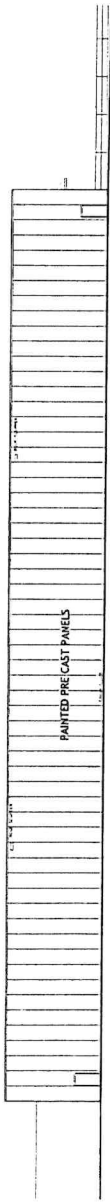
Lexington, MI



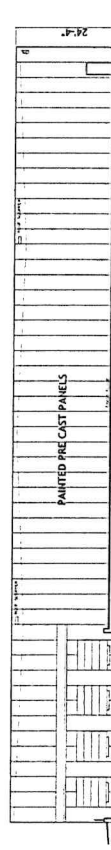
East Building Elevation



South Building Elevation



North Building Elevation



West Building Elevation

ordinc
ARCHITECTS / ENGINEERS

P.O. BOX 351
550 E. FRENCHLINE ROAD
SANDUSKY, MI. 48471
PH: 810.648.5011
9105 E. FOUCH ROAD
TRAVERSE CITY, MI. 49684

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Location Map

5100 LAKESHORE
LEXINGTON, MI

Area Map



Location Map



SHEET INDEX:

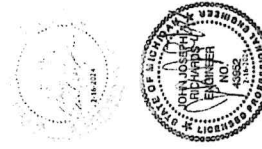
CIVIL	
1	OVERALL SITE PLAN
2	PROPERTY LINES
3	EXISTING AREA PROFILE SECTION PLAN
4	PROPOSED AREA PROFILE SECTION PLAN
5	SECTION THROUGH SITE PLAN
6	SECTION THROUGH SITE PLAN
7	SECTION THROUGH SITE PLAN
8	SECTION THROUGH SITE PLAN
9	SECTION THROUGH SITE PLAN
10	SECTION THROUGH SITE PLAN

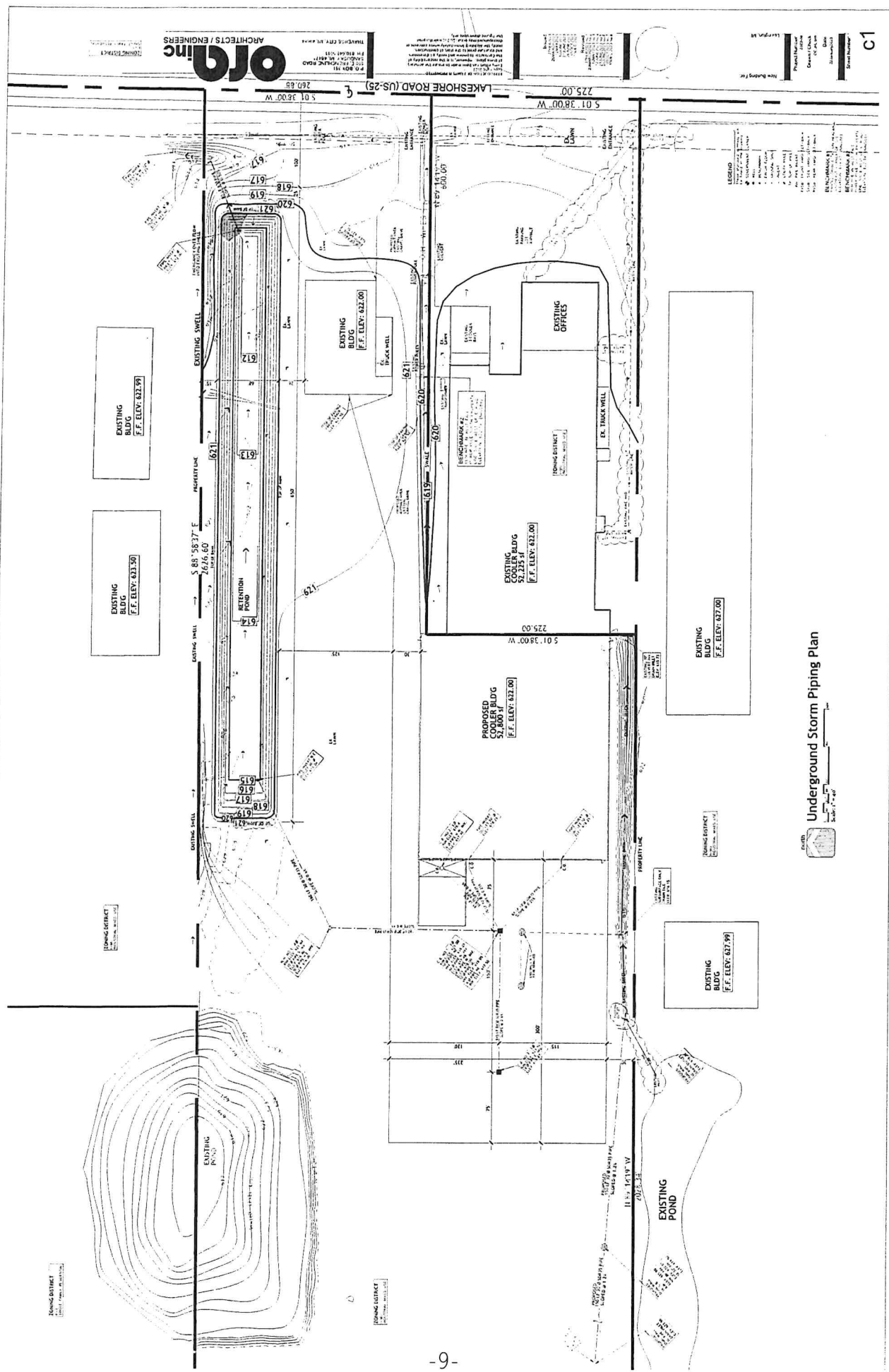
These notes were removed from the previous submittal.

NOTE: THE CLIENT HAS REQUESTED THAT THE PROPOSED BUILDING BE CONSTRUCTED WITH A CONCRETE FRAMEWORK AND CONCRETE WALLS. THE CLIENT HAS REQUESTED THAT THE PROPOSED BUILDING BE CONSTRUCTED WITH A CONCRETE FRAMEWORK AND CONCRETE WALLS. THE CLIENT HAS REQUESTED THAT THE PROPOSED BUILDING BE CONSTRUCTED WITH A CONCRETE FRAMEWORK AND CONCRETE WALLS.

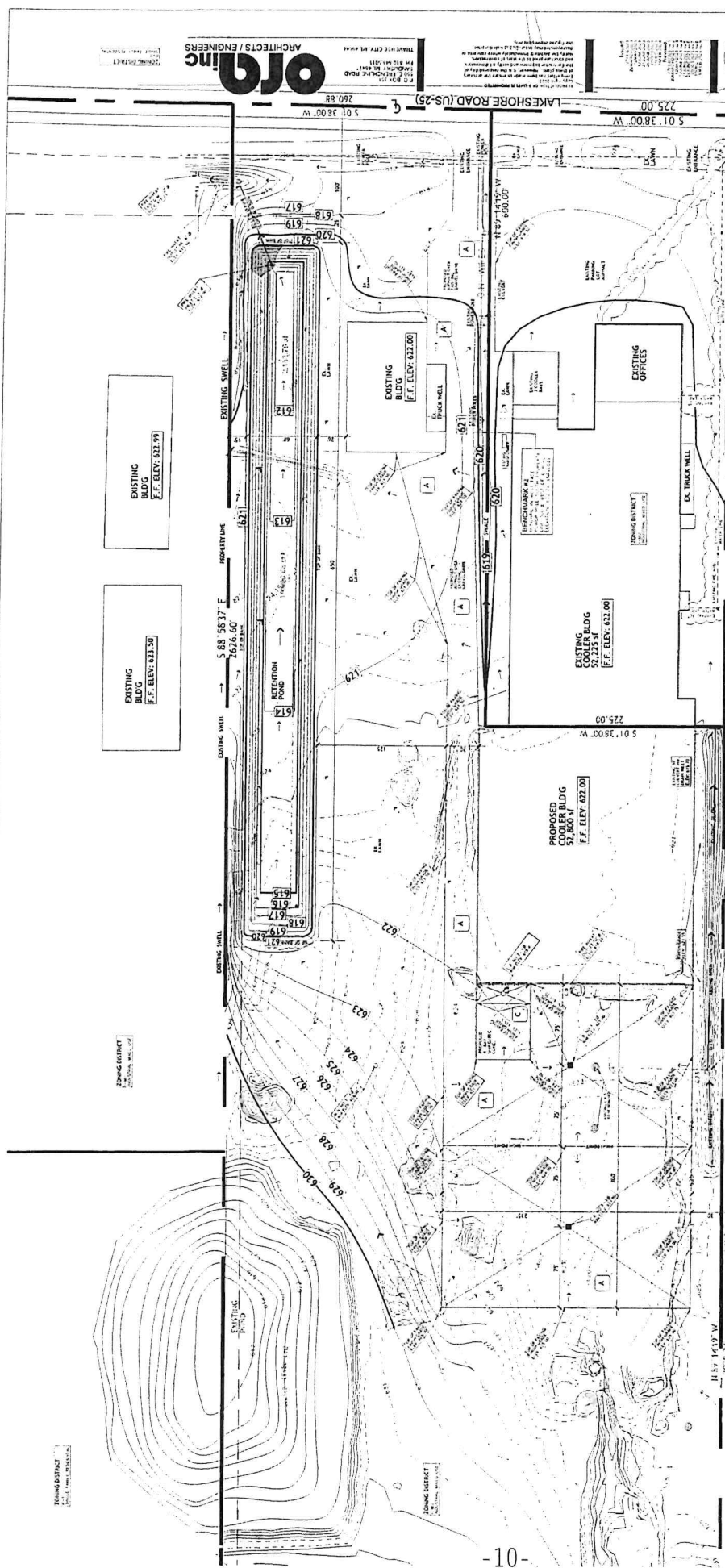
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Property Address 5100 LAKESHORE
Parcel No: 5100 LAKESHORE
Legal Description 5100 LAKESHORE, LEXINGTON, MI 48471
Zoning R-1
Parking: 10 SPACES
Lot and Building Requirements: MINIMUM LOT AREA: 25,000 SQ FT MINIMUM LOT WIDTH: 100 FT MINIMUM LOT DEPTH: 100 FT MINIMUM LOT AREA: 25,000 SQ FT MINIMUM LOT WIDTH: 100 FT MINIMUM LOT DEPTH: 100 FT
Building Setbacks: FRONT: 10 FT SIDE: 5 FT REAR: 10 FT
Building Height: MAXIMUM BUILDING HEIGHT: 10 FT
Lot Width: 100 FT
Signage: NO SIGNAGE
Lighting: NO LIGHTING
Site Interior Landscaping: NO LANDSCAPING
Parking Lot Landscaping: NO LANDSCAPING
Owner: ORDINC





Underground Storm Piping Plan



Paving & Grading Plan

INFILTRATION BASIN DESIGN CALCULATION

24-INCH DEPTH OF WATER TO BE REMOVED

642C	DESIGN RAIN	1.57
642D	DESIGN WIND VELOCITY	100
642E	DESIGN WIND DIRECTION	100
642F	DESIGN WIND PERIOD	100
642G	DESIGN WIND PRESSURE	100
642H	DESIGN WIND MOMENT	100
642I	DESIGN WIND TORSION	100
642J	DESIGN WIND LIFT	100
642K	DESIGN WIND DRIFT	100
642L	DESIGN WIND SWAY	100
642M	DESIGN WIND ROTATION	100
642N	DESIGN WIND TRANSLATION	100
642O	DESIGN WIND TORSION	100
642P	DESIGN WIND LIFT	100
642Q	DESIGN WIND DRIFT	100
642R	DESIGN WIND SWAY	100
642S	DESIGN WIND ROTATION	100
642T	DESIGN WIND TRANSLATION	100

CONCLUSIONS:

DESIGN - INFILTRATION MEETS OR EXCEEDS 24 INCHES OF WATER REMOVAL.

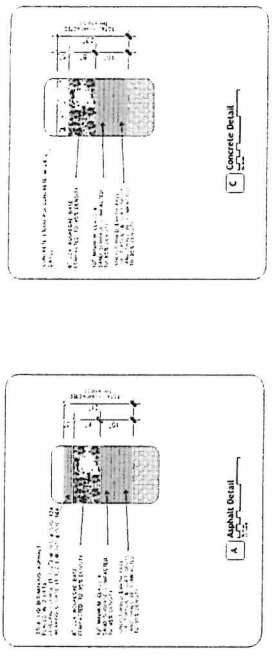
In the submittal dated 1-16-24, the stormwater volume calculation had been totally revised from storm gallons to allowing infiltration. The design storm was also revised.

A proposed 26,433 CFT is stated as needed to be managed which is 197,719 gallons versus the 1,385,880 gallons proposed revised storage in one of the previous submittals.

Please provide complete calculations showing compliance. Provide justification for a Infiltration Basin Design, based on known soil types and soil testing.

Given there are existing ponds on the site, lead us to question the use of infiltration and the need for further investigation and justification on your behalf.

Follow the Post Construction Control - Stormwater Management Design Document prepared by Spencer Group dated February 2018.



LEGEND

1	EXISTING PAVEMENT
2	PROPOSED PAVEMENT
3	PROPOSED GRADING
4	PROPOSED INFILTRATION BASIN
5	PROPOSED RETENTION POND
6	PROPOSED TRUCK WELL
7	PROPOSED BIOTREATMENT
8	PROPOSED BIOMEDIATION
9	PROPOSED BIOPROCESSING
10	PROPOSED BIOPURIFICATION
11	PROPOSED BIOPOLISHING
12	PROPOSED BIOPREVENTION
13	PROPOSED BIOPROTECTION
14	PROPOSED BIOPURIFICATION
15	PROPOSED BIOPOLISHING
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17	PROPOSED BIOPROTECTION
18	PROPOSED BIOPURIFICATION
19	PROPOSED BIOPOLISHING
20	PROPOSED BIOPREVENTION
21	PROPOSED BIOPROTECTION
22	PROPOSED BIOPURIFICATION
23	PROPOSED BIOPOLISHING
24	PROPOSED BIOPREVENTION
25	PROPOSED BIOPROTECTION

PROJECT INFORMATION

Project Name: **SPENCER GROUP**

Project Number: **24-001**

Client: **SPENCER GROUP**

Site Address: **260 EAST LAKESHORE ROAD (US-25) WILMINGTON, DE 19802**

Scale: **AS SHOWN**

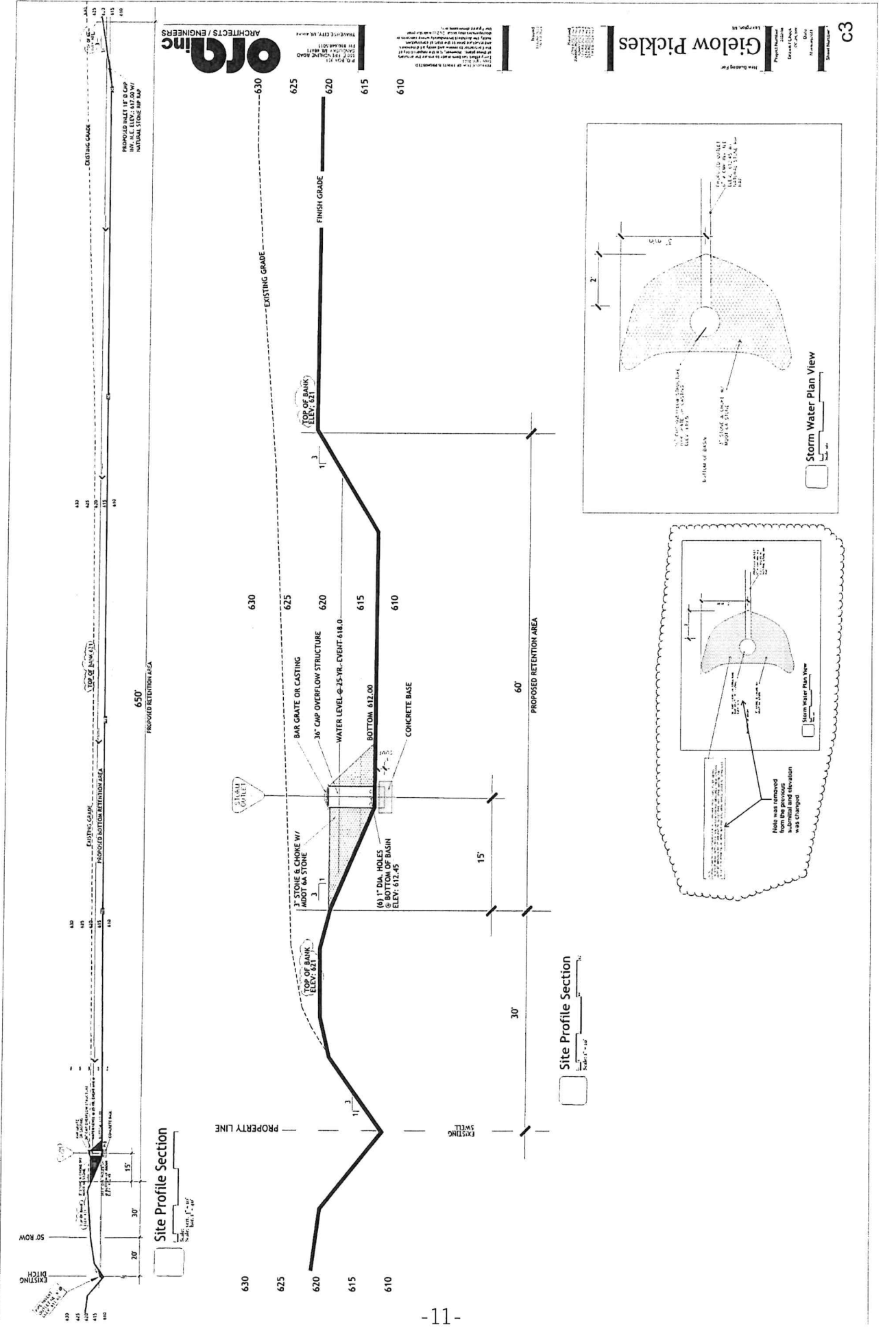
Date: **2/24/24**

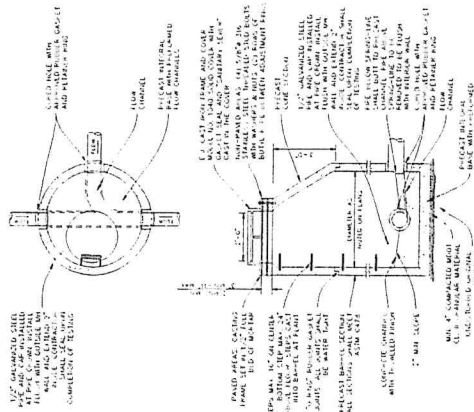
Sheet Number: **10**

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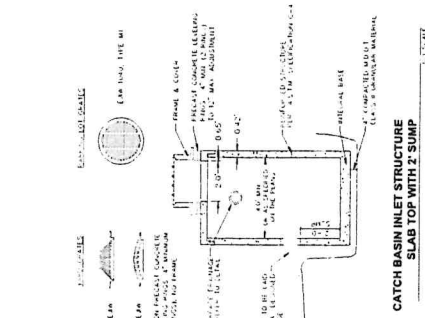
1000 N. MARKET STREET, SUITE 100
WILMINGTON, DE 19801

PH: 302.441.1000
WWW.ORGLINE.COM

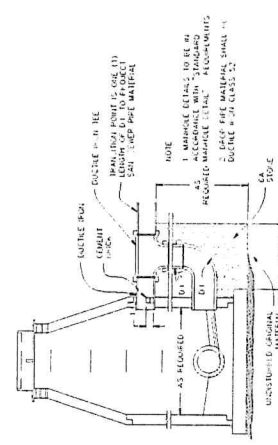




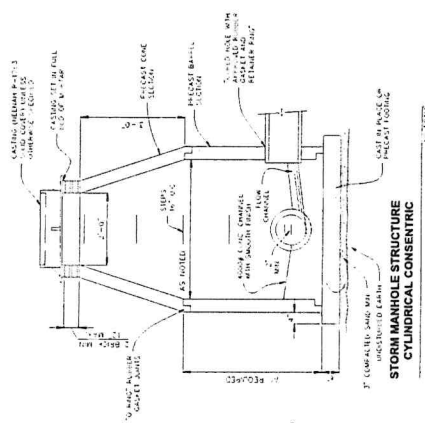
STANDARD SANITARY MANHOLE
NOT TO SCALE



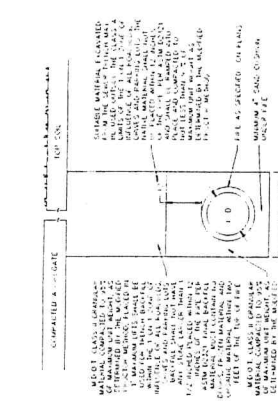
CATCH BASIN INLET STRUCTURE SLAB TOP WITH 2' SUMP
NOT TO SCALE



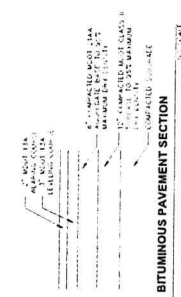
MANHOLE EXTERIOR DROP CONNECTION
NOT TO SCALE



STORM MANHOLE STRUCTURE CYLINDRICAL CONCENTRIC
NOT TO SCALE

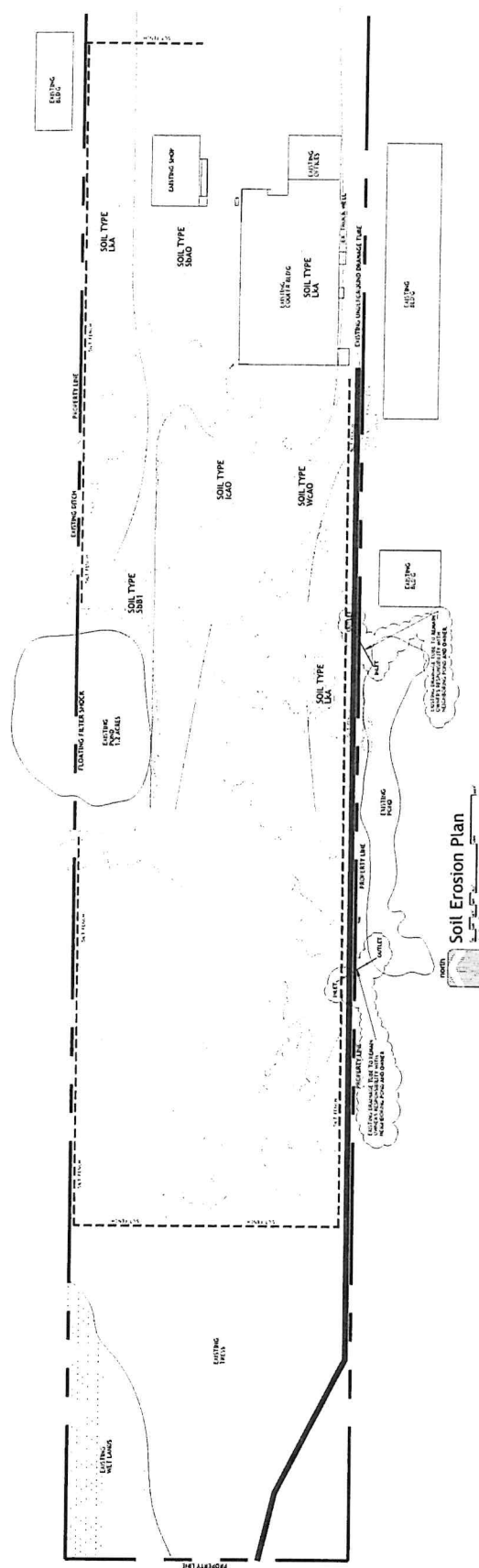


UTILITY TRENCH DETAIL
NOT TO SCALE



BITUMINOUS PAVEMENT SECTION
NOT TO SCALE

THIS PLAN IS THE PROPERTY OF ORP ARCHITECTS / ENGINEERS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ORP ARCHITECTS / ENGINEERS.



SESC NOTES

1. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
2. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
3. ALL EROSION CONTROL MEASURES SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.
4. THE EROSION CONTROL PLAN SHALL BE SUBMITTED TO THE LOCAL HEALTH DEPARTMENT FOR REVIEW AND APPROVAL.
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MAINTENANCE NOTES

1. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
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CONSTRUCTION SEQUENCE

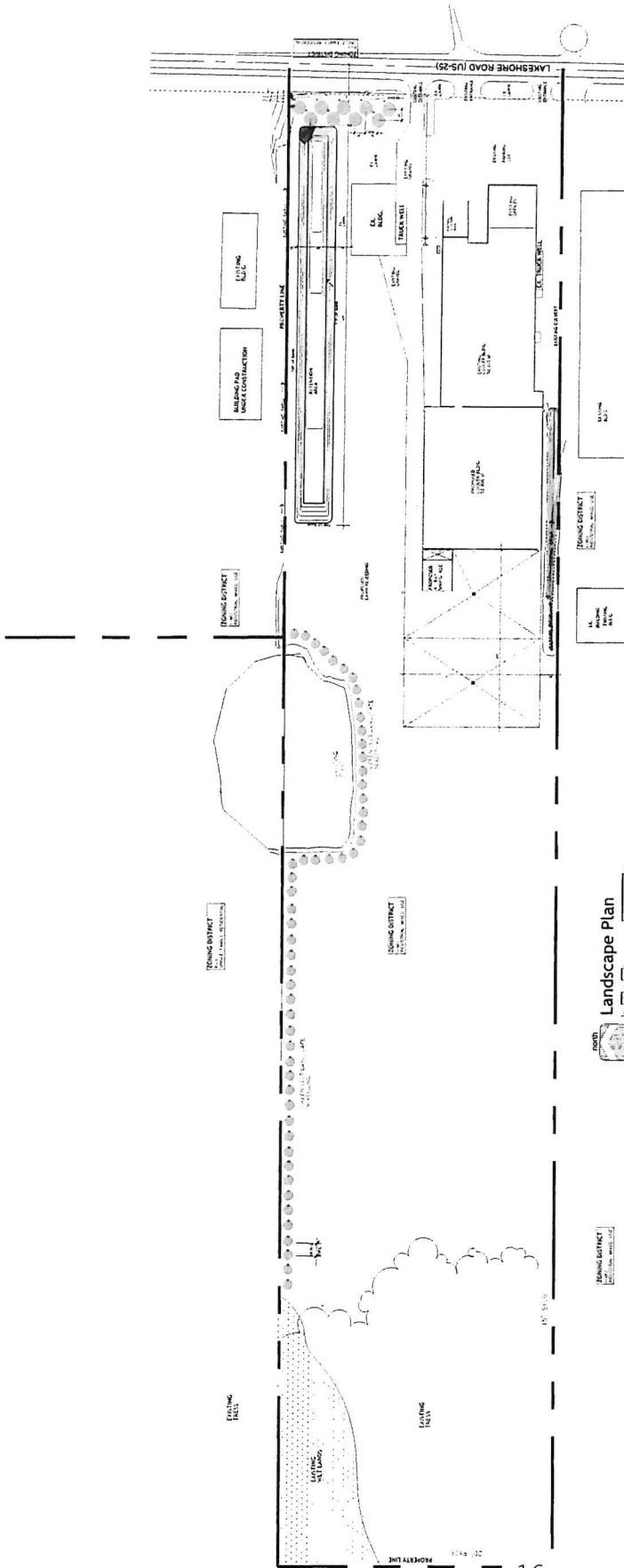
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DEWATERING

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GENERAL CONSTRUCTION NOTE

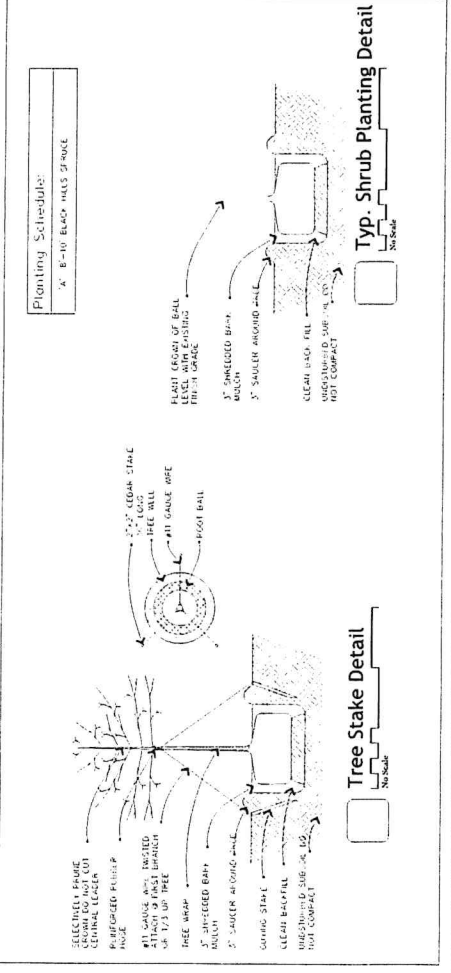
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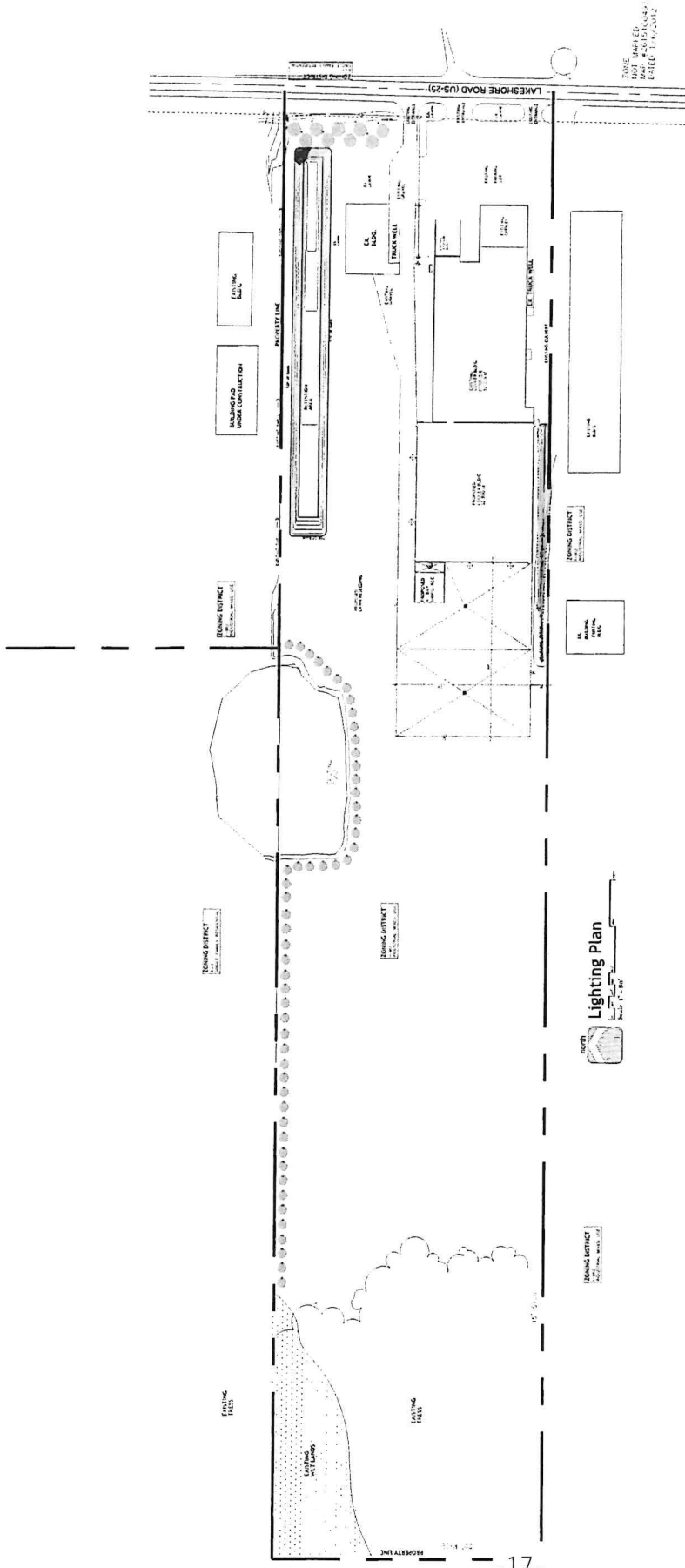


Landscape Plan
Scale: 1/8" = 1'-0"

4.2.1.4. Greenbelt.
A greenbelt shall be provided which is an area established at a depth of the required front setback from the building line, using shrubs and landscapes in accordance with the following requirements:
1. The greenbelt shall be a minimum of 10 feet wide for every linear (ft) foot of lot frontage. The greenbelt shall be a minimum of 10 feet wide for every linear (ft) foot of lot frontage. The greenbelt shall be a minimum of 10 feet wide for every linear (ft) foot of lot frontage.
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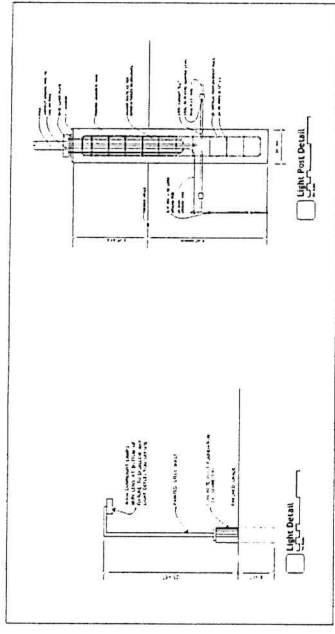
- LEGEND**
- PLANTING DETAIL
 - TYP. SHRUB PLANTING DETAIL
 - TREE STAKE DETAIL
 - 1. BENCHMARK #1
 - 2. BENCHMARK #2
 - 3. BENCHMARK #3
 - 4. BENCHMARK #4
 - 5. BENCHMARK #5
 - 6. BENCHMARK #6
 - 7. BENCHMARK #7
 - 8. BENCHMARK #8
 - 9. BENCHMARK #9
 - 10. BENCHMARK #10
 - 11. BENCHMARK #11
 - 12. BENCHMARK #12
 - 13. BENCHMARK #13
 - 14. BENCHMARK #14
 - 15. BENCHMARK #15
 - 16. BENCHMARK #16
 - 17. BENCHMARK #17
 - 18. BENCHMARK #18
 - 19. BENCHMARK #19
 - 20. BENCHMARK #20





LEGEND
• LIGHTING FIXTURE
• WELL
• TRUCK WASH
• CONCRETE WALL
• POCKET
• WOODY POSE
• 1/2" x 1/2" x 1/2"
• 1/2" x 1/2" x 1/2"
• 1/2" x 1/2" x 1/2"
• 1/2" x 1/2" x 1/2"

BENCHMARK #1
ELEVATION: 6172.5
BENCHMARK #2
ELEVATION: 6172.5



Luminaires Schedule

SYM.	DESCRIPTION	QUANTITY	MANUFACTURER
LF1	LED WALL MOUNTED LIGHT	10	OSRAM
LF2	LED WALL MOUNTED LIGHT	10	OSRAM
LF3	LED WALL MOUNTED LIGHT	10	OSRAM



To: Planning Commission

From: Lori Fisher, Village Manager

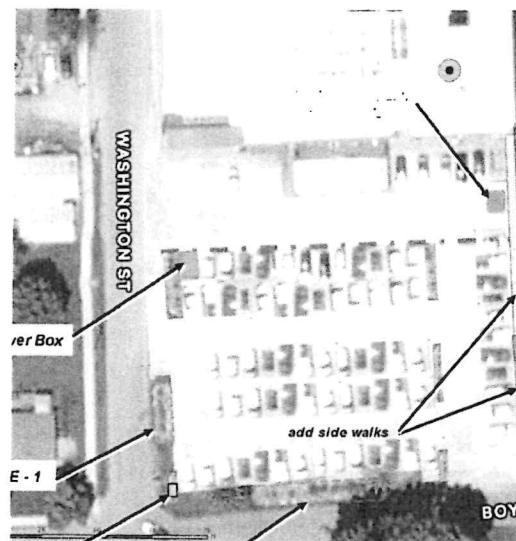
Date: April 4, 2024

Re: Parking Expansion at Washington and Boynton Lot

Background:

In September, Council gave the direction to investigate the costs and practicability for improvements to the parking area at Washington and Boynton. A survey was completed to verify the Village owned property lines and the utilities have been identified to identify any unforeseen issues. We have worked with the property owners to the north and will continuing working with them with the goal of maximizing the number of parking spaces available to the public. Another consideration is to keep the lot open and unincumbered so that it could be used for equipment or materials in our upcoming projects.

The intent is to keep the surface stone and eventually install bumpers as well as a sign that identifies the lot as municipal parking.



Recommendation:

It is recommended that Planning Commission approve plans of upgrading and leveling the existing lot. Municipal parking is not referenced in the Zoning Ordinance and the use of the area is not being changed, only improved.



9

Off-Street parking & Loading

SEC. 9.1 INTENT & PURPOSE

The purpose of this section is to ensure the provision of off-street parking facilities that are sufficient in number, adequately sized and properly designed to meet the range of parking needs and demands that are associated with land uses now in place in the Village or with land uses allowed by this Ordinance.

SEC. 9.2 GENERAL PROVISIONS

9.2.1. Where Required.

In all zoning districts, off-street parking facilities for the storage and parking of self-propelled motor vehicles for the use of occupants, employees, and patrons of the buildings hereafter erected, altered, or extended after the effective date of this Ordinance, shall be provided as herein prescribed. Such space shall be maintained and shall not be encroached upon so long as said main building or structure remains, unless an equivalent number of such spaces are provided elsewhere in conformance with this Ordinance.

9.2.2. Existing Off-Street Parking at Effective Date of Ordinance.

Off-street parking existing at the effective date of this Ordinance which serves an existing building or use, shall not be reduced in size to less than that required under the terms of this Ordinance.

9.2.3. Required Greenbelt and Setbacks.

Off-street parking, including maneuvering lanes, shall not be located within the required front greenbelt in accordance with Section 6.2.6. Off-street parking shall be permitted within the required side or rear yard setbacks, provided a minimum five (5) foot setback is maintained between off-street parking and the side and rear lot lines of all adjoining properties. In C-MU, G-MU and CBD districts, off-street parking shall further comply with the siting standards of Section 4.8.

9.2.4. Parking Duration.

Except when land is used as storage space in connection with the business of a repair or service garage, a twenty-four (24) hour time limit for parking in non-residential off-street parking areas shall prevail, it being the purpose and intention of the foregoing that the requirement of maintaining vehicle storage or parking space is to provide for the public safety in keeping parked cars off the streets, but such requirement is not designed to or intended to provide, and it shall be unlawful to permit, the storage or prolonged parking on any such parking area in any such district wrecked or junked cars, or for creating a junk yard or a nuisance in such areas.

9.2.5. Units and Methods of Measurement.

For the purpose of determining off-street parking requirements, the following units of measurement shall apply:

1. Floor Area. Where floor area is the unit for determining the required number of off-street parking spaces, said unit shall mean the gross floor area, except that floor area's within the principal building used for parking, incidental service and storage, housing of mechanical equipment, heating systems and similar uses need not be included.
2. Employees. For requirements stated in terms of employees, the calculation shall be based upon the maximum number of employees likely to be on the premises during the largest shift.





- 3. Places of Assembly. In stadiums, sports arenas, churches and other places of assembly in which those in attendance occupy benches, pews, or other similar seating facilities, each twenty-four (24) inches of such shall be counted as one (1) seat. In cases where a place of assembly has both fixed seats and open assembly area, requirements shall be computed separately for each type and added together.
- 4. Fractional Requirements. When units or measurements determining number of required parking spaces result in requirement of a fractional space, any fraction shall require one (1) parking space.

9.2.6. Location of Parking.

- 1. One- and Two-Family Dwellings. The off-street parking facilities required for one- and two-family dwellings shall be located on the same lot or plot of ground as the building they are intended to serve, but shall not be considered a parking lot under the provisions of this Article. Existing non-conforming driveways within the five (5) foot setback maybe paved, repaved, asphalt, or re-asphalted.
- 2. Multiple-Family Residential. The off-street parking facilities for multiple-family dwellings shall be located on the same lot or plot of ground as the dwellings they are intended to serve, and shall consist of a parking lot as set forth in this Article. In no event shall any parking space be located nearer than ten (10) feet to any main building.
- 3. Other Land Uses. The off-street parking facilities required for all other uses shall be located on the lot or within three hundred (300) feet of the permitted uses requiring such off-street parking, such distance to be measured along lines of public access to the property between the nearest point of the parking facility to the building to be served.
- 4. Restriction on Parking on Private Property. It shall be unlawful for any person, firm, or corporation to park any motor vehicle on any private property without the authorization of the owner or agent of such property.

SEC. 9.3 OFF-STREET PARKING REQUIREMENTS

9.3.1. The amount of required off-street parking spaces for new uses or buildings, and additions to existing buildings shall be determined in accordance with the Schedule set forth in Section 9.4. Parking requirements listed in Section 9.4 shall not include off-street stacking spaces for drive-through facilities set forth in Section 9.7.

9.3.2. Similar Uses and Requirements.

When a use is not specifically mentioned, the requirements of off-street parking for a similar use shall apply.

9.3.3. Collective Provisions.

Nothing in this Section shall be construed to prevent collective provisions of off-street parking facilities for two (2) or more buildings or uses, provided:

- 1. Such facilities collectively shall not be less than the sum of the requirements for the various individual uses computed separately in accordance with Section 9.4 of this Article. However, the planning commission may reduce the total number of spaces by up to twenty-five (25) percent upon a determination that the peak space requirements for the individual uses occur at distinctly different times.
- 2. Each use served by collective off-street parking shall have direct access to the parking without crossing any public rights-of-way.





- 3. Written easements which provide for continued use and maintenance of the parking shall be submitted to the City for approval.

9.3.4. Parking Exemption.

As of the effective date of this Ordinance, buildings and uses located within the CBD - Central Business District shall be exempt from providing off-street parking. However, in no case should a building or use be expanded to remove off-street parking established before the effective date of this Ordinance.

9.3.5. Flexibility in Application.

The Village recognizes that, due to the specific requirements of any given development, inflexible application of the parking standards set forth in Section 9.4 may result in development with inadequate parking or parking far in excess of that which is needed. The former situation may lead to traffic congestion or unauthorized parking on adjacent streets or neighboring sites. The latter situation may result in excessive paving and storm water runoff and a waste of space which could be left as open space.

The Planning Commission may permit deviations from the requirements of Section 9.4 and may require more or allow less parking whenever it finds that such deviations are more likely to provide a sufficient number of parking spaces to accommodate the specific characteristics of the use in question.

The Planning Commission may attach conditions to the approval of a deviation from the requirement of Section 9.4 that bind such approval to the specific use in question. Where a deviation results in a reduction of parking, the Planning Commission may further impose conditions which ensure that adequate reserve area is set aside for future parking, as needed.

The Planning Commission, may allow deviations from the hard durable surface lot requirement for seasonal or auxiliary lots. The recommended surface shall be suitable for the given parking area in question.

The Planning Commission may allow deviations from the hard durable surface lot requirement to permit durable alternative materials, such as pervious concrete or permeable pavers, for the purpose of improved stormwater filtration.

SEC. 9.4 TABLE OF OFF-STREET PARKING REQUIREMENTS

The amount of required off-street parking space for new uses or buildings, and additions to existing buildings shall be determined in accordance with the following table:





9.4.1. Required Number of Parking Spaces.

Use	Per Each Unit of Measure as Follows
Residential Uses	
Single- or Two-Family Dwelling	2 per each dwelling unit
Multiple-Family Dwelling	2 per each dwelling, plus 1 per each ten (10) dwelling units
Senior Citizen Housing and Senior Assisted Living	1 per each dwelling unit, plus 1 per each ten (10) dwelling units, plus 1 per each employee
Institutional Uses	
Churches	1 per each eight (8) seats based on maximum seating capacity in the main place of assembly therein
Private Clubs & Lodges	1 per each three (3) individual members allowed within the maximum occupancy load as established by fire and/or building codes
Hospitals	1 per each four (4) beds, plus 1 per staff doctor, plus 1 per each employee at peak shift
Convalescent Homes, Homes for the Aged, Children's Homes	1 per each five (5) beds, plus 1 per each staff doctor, plus 1 per each employee at peak shift
High Schools, Trade Schools, Colleges & Universities	1 per each teacher, plus 1 per each twenty-five (10) students, plus 1 per each employee
Elementary & Middle Schools	1 per each teacher, plus 1 per each twenty-five (25) students, plus 1 per each employee
Child Care Center, or Nursery Schools	1 per each five (5) students, plus 1 per each employee
Day Care Homes	1 per each employee and/or caregiver
Stadiums, Sports Arenas, and Auditoriums	1 per each four (4) seats based on maximum seating capacity
Libraries & Museums	1 per each 500 sq. ft. of floor area
General Commercial Uses	
Retail Stores, except as otherwise specified herein	1 per each 300 sq. ft. of floor area
Supermarkets, drugstores, and other self-serve retail establishments	1 per 200 sq. ft. of floor area
Convenience Stores and Video Stores	1 per 100 sq. ft. of floor area



Off-Street parking & Loading





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Off-Street parking & Loading

Planned Shopping Center	1 per 150 sq. ft. of floor area for the first 15,000 sq. ft., plus 1 per 300 sq. ft. of floor area in excess of 15,000 sq. ft.
Furniture, Appliances, Hardware, Household Equipment Sales	1 per each 600 sq. ft. of floor area, plus 1 per each employee
Motels and Hotels	1 per each guest bedroom, plus 1 per each ten guests bedrooms, plus 1 per employee, plus amount required for accessory uses, such as a restaurant or cocktail lounge
Fast Food Restaurants	1 per each 125 sq. ft. of floor area, plus 1 per each employee during peak shift
Sit-Down Restaurants	1 per each four (4) seats and for the first 48 seats and per each eight seats for the next 49 seats to 100 seats, and per each 12 seats over 100, plus 1 per each employee during peak shift
Taverns and Cocktail Lounges	1 per each four (4) persons allowed within the maximum occupancy load as established by fire and/or building codes, plus 1 per each employee during peak shift
Nurseries, Garden Centers, Building Material Sales	1 per each 800 sq. ft. of lot area used for said business provided for herein
Movie Theaters	1 per each four (4) seats based on the maximum seating capacity, plus 1 per each employee
Wholesale Stores, Machinery Sales, and other similar uses	1 per each 800 sq. ft. of floor area, plus 1 per each employee
Automotive Uses	
Auto Sales	1 per each 200 sq. ft. of showroom floor area, plus 1 per each employee, plus 1 per each service stall
Automotive Repair Facilities	2 per each service stall, plus 1 per each employee, plus 1 per each service vehicle
Gasoline Stations without Convenience Store	1 per each pump unit, plus 2 per each service stall, plus 1 per each employee





Gasoline Stations with Convenience Store	1 per each pump unit, plus 2 per each service stall, plus 1 per each employee, plus 1 per each 100 sq. ft. of floor area devoted to retail sales and customer service
Car Washes (self-serve)	1 per each wash stall, plus 1 per each vacuum station, plus 1 per each employee
Car Washed (automatic)	1 per 200 sq. ft. of floor area of customer waiting and service areas, plus 1 per each vacuum station, plus 1 per each employee
Collision or Bump Shops, and other Similar Uses	2 per each stall or service area, plus 1 per each employee
Office and Service Uses	
Medical & Dental Office	1 per each 150 sq. ft. of floor area
Business & Professional Offices	1 per each 200 sq. ft. of floor area
Banks	1 per each 200 sq. ft. of floor area
Barber & Beauty Shops	3 per each chair
Laundromats or Coin-Operated Dry Cleaners	1 per each 2 washing or dry cleaning machines
Recreational Uses	
Bowling Alleys	4 per bowling lane, plus 1 per employee, plus amount required for accessory uses such as a restaurant or cocktail lounge
Private Tennis, Swim or Golf Clubs, or other Similar Uses	1 per each two (2) memberships, plus amount required for accessory uses such as a restaurant or cocktail lounge
Gold Course, open to the general public	4 per each hole, plus 1 per each employee, plus amount required for accessory uses such as a restaurant or cocktail lounge
Industrial Uses	
Industrial or Manufacturing Establishments	1 per each employee, at peak shift, or 1 per each 800 sq. ft. of floor area (whichever is greater)
Warehouses and Storage Buildings	1 per each employee, or 1 per each 2,000 sq. ft. of floor area (whichever is greater)
Contractors Office	1 per each employee



Off-Street parking & Loading





9

Off-Street parking & Loading

SEC. 9.5 OFF-STREET PARKING LOT DESIGN & CONSTRUCTION

The construction of any parking lot shall be in accordance with the requirements of the provisions of this Ordinance and such construction shall be completed and approved by the Zoning Administrator before use of the property as a parking lot and before a Certificate of Occupancy is issued. Unless incorporated in a site plan prepared and approved in accordance with Section 3.4, plans for the development of any parking lot must be submitted to the Zoning Administrator, prepared at a scale of not less than fifty (50) feet equals one (1) inch and indicating existing and proposed grades, drainage, pipe sizes, parking of all dimensions, type of curbing, drive and aisle dimensions, lighting, adjacent main buildings, sidewalks, landscaping, surfacing and base materials to be used and the layout of the proposed parking lot.

9.5.1. All such parking lots, driveways, or loading areas required for uses other than single- or two-family residential shall be a hard durable, smooth, and dustless surface and shall be graded and drained so as to dispose of surface water which might accumulate within or upon such area, and shall be completely constructed prior to a Certificate of Occupancy being issued. Drainage for parking lots shall conform to the standards set forth in Section 6.11. Hard durable surface is defined as cement, bituminous materials (asphalt), or other comparable compacted materials for those adjacent to or ingressing from a state highway or located in the DDA district.

9.5.2. All illumination for all such parking lots shall meet the standards set forth in Section 6.8.

9.5.3. Parking lot landscaping and buffering requirements shall meet the standards set forth in Section 6.2.5.

9.5.4. Adequate ingress and egress to the parking lot, by means of limited and clearly defined drives, shall be provided for all vehicles.

9.5.5. Where necessary to prevent encroaching upon pedestrian walkway or damaging required landscaping, wheel stops shall be provided. No portion of a parking space and/or maneuvering aisle shall obstruct or encroach upon a public sidewalk.

9.5.6. All parking lots must clearly mark parking spaces either by painted lines, wheel stops, or the equivalent.

9.5.7. Plans for the layout of off-street parking facilities shall be in accordance with the following minimum regulations.

Pattern	Maneuvering Lane Width		Parking Space	
	One-Way	Two-Way	Width	Length
0 Parallel	12 ft	18 ft	9 ft	20 ft
30-53	12 ft	18 ft	9 ft	20 ft
54-74	15 ft	20 ft	9 ft	20 ft
75-90	18 ft	20 ft	9 ft	20 ft

SEC. 9.6 OFF-STREET LOADING REQUIREMENTS

On the same premises with every building or part thereof, erected and occupied for any uses involving the receipt or distribution of trucks and/or delivery vehicles, material or merchandise, adequate space for loading and unloading shall be provided in accordance with the following:





9.6.1. Such loading and unloading space, unless completely and adequately provided for within a building, shall be an area ten (10) feet by fifty (50) feet, with fourteen (14) foot height clearance, and shall be provided according to the following schedule.

Gross Floor Area of Building (sq. ft.)	Required Loading & Unloading Spaces
0 – 5,000	None
5,000 – 10,000	One (1) space with a minimum length of 20 ft
10,000 – 20,000	One (1) space
20,000 – 100,000	One (1) space plus one (1) space for each 20,000 sq. ft. in excess of 20,000 sq. ft.
100,000 – 500,000	Five (5) spaces plus one (1) space for each 40,000 sq. ft. in excess of 100,000 sq. ft.
Over 500,000	Fifteen (15) spaces plus one (1) space for each 80,000 sq. ft. in excess of 500,000 sq. ft.

9.6.2. **Required Greenbelt, Setbacks, and Screening.**

1. Off-street loading areas, including maneuvering lanes, shall not be located within the front greenbelt required in accordance with Section 6.2. Off-street loading shall be permitted within the required side or rear yard setbacks, provided a minimum ten (10) foot setback is maintained between off-street loading and the abutting side and rear lot lines.
2. Off-street loading which abuts residentially zoned or used property shall be screened in accordance with Section 6.2.

9.6.3. **Double Count.**

Off-street loading space areas shall not be construed as, or counted toward, the supplying of area required as off-street parking space area.

SEC. 9.7 OFF-STREET STACKING SPACE FOR DRIVE-THROUGH FACILITIES

All businesses which provide drive-through facilities for serving customers within their automobile shall provide adequate off-street stacking space and lanes which meets the following requirements. Banks and carwashes are the only drive-through businesses permitted in the village of Lexington.

- 9.7.1. Each stacking space shall be computed on the basis of ten (10) feet in width and twenty (20) feet in length. Each stacking lane shall be a minimum of twelve (12) feet in width.
- 9.7.2. Clear identification and delineation between the drive-through facility and parking lot shall be provided. Drive-through facilities shall be designed in a manner which promotes pedestrian and vehicular safety.
- 9.7.3. For all drive-through facilities which have a single stacking lane, an escape lane shall be provided which allows other vehicles to pass those waiting to be serviced.





9.7.4. The number of stacking spaces per service lane shall be provided for the following uses:

Use	Stacking Spaces Per Service Lane
Banks	4
Car Washes (self-service)	
Entry	3
Exit	1
Car Washes (automatic)	
Entry	6
Exit	2

When a use is not specifically mentioned, the requirements for off-street stacking space for the similar use shall apply.

SEC. 9.8 OUTDOOR STORAGE OF RECREATIONAL VEHICLES

In all Residential Districts, a recreational vehicle may be parked or stored subject to the following conditions:

9.8.1. Storage or parking shall not be permitted on vacant lots or parcels, except as approved by the Zoning Administrator.

9.8.2. Unless within a completely enclosed building, a recreational vehicle shall be parked or stored in one of the following manners.

1. Within the or rear yard, but no closer than five (5) feet from any side or rear lot line; or,
2. In those instances where the rear yard is not accessible or has insufficient clearance for the passage of a recreational vehicle, the Zoning Administrator may allow (in writing) the parking or storage of a recreational vehicle to be parked in the side yard. In no instance shall such a recreational vehicle be parked or stored in such a manner which obstructs a neighbor's clean line of vision from their porch/deck, doors or windows.
3. For property adjacent to Lake Huron, recreational vehicles must be stored inside a garage or accessory structure.

9.8.3. No recreational vehicle shall be used for living, sleeping, or housekeeping purposes to accommodate visitors which exceeds a maximum period of forty-eight (48) hours without written authorization from the zoning administrator. If approved for use, the vehicle must be fully self-contained.

9.8.4. No recreational vehicle shall be stored on a public street or right-of-way or private road easement.

9.8.5. All recreational vehicles shall be locked or secured at all times so as to prevent access or injury to person or persons.

9.8.6. Except for periods of less than forty-eight (48) hours, only those recreational vehicles which are owned by the property owner or resident of the property and which are properly plated and registered may be parked or stored.

9.8.7. At such time as the Zoning Administrator approves storage of a recreational vehicle other than in a rear yard, that written approval is limited to six (6) months. Additional time may be granted but must be approved in writing by the Zoning Administrator.

